

Near Golf Club, Airport Road, Pune 411006.

Project by

COSMO



## Premium Location...

## for Premium One...

uxurious 2 & 4 BHk

apartments

s an eye-grabber with its

ew age architecture.

situated in

Yerwada.

Connects all the

ocalities in the city

herefore you can

eamlessly travel to

desire loca

around and in Pune

100% ready possession flat

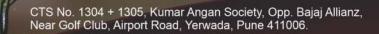
Re the part of residence the

makes your life at ease

a the resident of

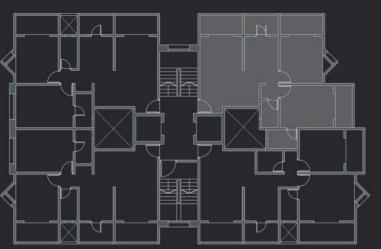
"Suvidhi"III



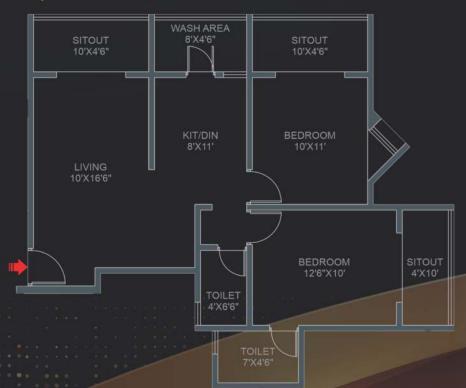










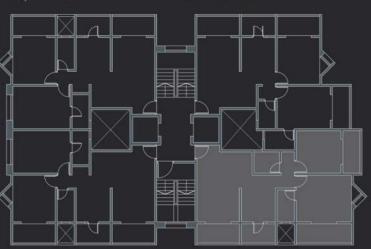




Typical 1st, 2nd, 3rd, 5th, 8th Floor Plan

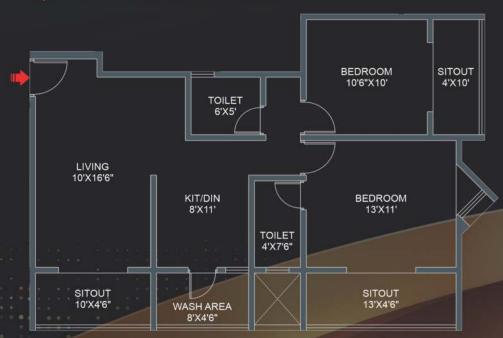
Sr.No.	Flat No.	Type	Tot. Carpet	
1	101, 201, 301, 501, 801	2 BHK	811	

### Typical Key Floor Plan 1st, 2nd, 3rd, 5th, 8th Floor

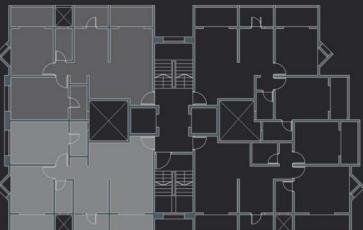




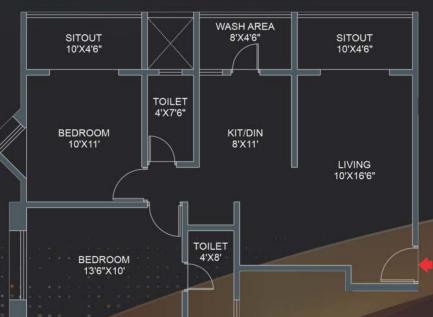
### Typical 1st, 2nd, 3rd, 5th, 8th Floor Pla













Sr.No.	Flat No.	Туре	Tot. Carpet
1	104, 204, 402, 504, 602, 704	2 BHK	795
2	103, 203, 403, 503, 603, 703	2 BHK	795
		No. of Concession, Name of Street, or other Designation, Name of Street, Name	101 101











## **Amenities**

Decorative Entrance Lobby Mechanical Car Parking System Two Automatic Lifts Biometric Entrance Gate 24\*7 Generator Backup

Rooftop PV Solar System Terrace Gym Kids Play Area Terrace Party Area

# Specifications



Dado CP & Sanitory wear Windows

Flooring

Doors

Railing Kitchen : 800x1600 mm vitrified tiles : 600x1200 mm vitrified tiles

: Grohe & Asian

: Main door vernier finish & other both side laminated

SS railing with tuffen glass

Dry Balcony

UPVC windows of standard make

: 27"x96" granite kitchen platform 18"x60" granite service platform

: Provision for Gas Cylinder

Provision for washing machine Provision for washing utensils

Painting

Electrical

Safety

: Internal Tractor Emelisions External Apex paint with Texture

: Adequate Electrical Points

3 phase Electricity Meter
- Digital Locking Door

- Video Door Phone with most advanced entry system

\* Intercom

\* Society Communication

\* Billing Maintenance

\* Security Record Facility

Hot Water

: Water Heating Pump for 24\*7

## Location Map



### Near by Distances (Approx.)

Business Bay	0.20 km	Airport	3.00 km	Kalyani Nagar	1.50 km
Don Bosco School	1.00 km	Jain Mandir	0.25 km	Nagarwala School	2.00 km
Ritz Carlton	0.50 km	Phoenix Mall	3.50 km	Ruby Hall Clinic	3.00 km
Golf Club	0.50 km	(Viman Nagar)		Taj Blue Diamond	1.50 km
Metro Stn.	0.20 km			Koregaon Park	1.50 km

### Project by



COSMO

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Location



Website